

MIDDLE ISLAND  
ARCHITECTURAL REVIEW  
COMMITTEE  
FEES & FORMS

# REVIEW FEES FOR SINGLE FAMILY RESIDENCES

## *NEW CONSTRUCTION*

**\$ 4,000** New Construction Review Fee for up to three reviews (this includes any combination of Draft, Preliminary or Final review submittals).

**\$ 1,000** New Construction Review Fee for an additional review

**\$ 10,000** Refundable Construction Deposit (make payable to Middle Island POA)

## *MAJOR RENOVATIONS*

### *Category I:*

**\$3,000** non-refundable review fee for Heated space change of 1000-1599 sq. ft.; non-heated space 1200 sq. ft. or greater. (1600 heated sq. ft. and over, or renovations involving 50% of the existing structure to be removed or revised is subject to new construction fees and guidelines.)

### *Category II:*

**\$ 2,000** Heated space of 250-999 sq. ft.; non-heated space of 500-1199 sq. ft.

### *Category III:*

**\$ 1,000** Heated space of less than 250 sq. ft.; non-heated space of 250-499 sq. ft.

## *MINOR RENOVATIONS*

### *Category I*

**\$300** Non-heated space of less than 250 sq. ft., hardscape changes to a landscape and other renovations not categorized

### *Category II*

**\$200** Design change of an existing feature, such as a door, window, roof material and Decorative Items.

## *PAINT/ROOF COLOR CHANGE - \$125*

*PLANT MATERIAL CHANGE* - No charge for Plant Material Change. However, Landscape change plans including hardscape material such as gravel, exterior lighting, pavers, decking, etc. must fill out a Minor Change Application and include a \$300 fee.

**Fees and complete submittals required in the office by the published deadline for each ARC meeting. Make checks payable to Bald Head Association.**

## ADDITIONAL NOTES

Major Changes During Construction – Major Renovation Review Fee applies

Minor Changes During Construction – Minor Renovation Review Fee applies

MIARC approval is required for all exterior changes and a submittal will not be placed on the MIARC meeting agenda for review if it is incomplete. The appropriate review fee is part of a complete submission. If there is a question whether a change qualifies as a minor or major change, the ARC Specialist will consult with the MIARC Chair. Similarly, should a construction proposal not be addressed within one of the categories outlined above, fees will be assessed on a case-by-case and individual basis.

Damages may be assessed, and fines imposed of up to \$100 per day per violation. These fines are authorized by the Amended Covenants of the BHA and the Planned Community Act Chapter 47F of the NC General Statutes. Fines become effective five days after the BHA Board's approval of the recommendations.

## CONSTRUCTION DEPOSIT

The required Refundable Construction Deposit will be used to reimburse any administrative expenses, costs of repairing damage to Common Areas, fees, fines, and penalties incurred during the construction process. It will be returned in full at completion of the project upon the following conditions:

1. the project has been completed in accordance with the MIARC approved plans;
2. no Common Areas or right-of-way areas have been damaged by construction;
3. no Covenants or Design Guidelines have been violated;
4. no deficits are remaining from the landscaping plan;
5. the Final Project Inspection Form has been completed satisfactorily.

Failure to satisfy these conditions may result in the loss of some or all of the Construction Deposit, regardless of whether such failure is caused by the Owner, architect/designer, builder, their contractors or agents. Failure to submit any appropriate Change Applications to the MIARC during the construction process will result in a delay of the building deposit refund. If fines exceed the amount of the Construction Deposit, the balance owed may be assessed as a lien against the Owner's property. **Checks must be made payable to Middle Island Property Owners Association and mailed to: Charles Pardee at 4097 Spring Island, Okatie, South Carolina 29909.**

# ARCHITECTURAL REVIEW APPLICATION FOR NEW CONSTRUCTION

**MIDDLE ISLAND ARCHITECTURAL REVIEW COMMITTEE** (Page 1 of 4)

PO Box 3030

Bald Head Island, North Carolina 28461-7000

[Kim@BaldHeadAssociation.com](mailto:Kim@BaldHeadAssociation.com) / 910-457-4676, ext. 29 / 910-457-9021 Fax

Please check one:

Date: \_\_\_\_\_

**Draft Review Application**

**Preliminary Review Application**

**\$4000 New Construction Review Fee**

**Final Review Application**

**\$10,000 New Construction Deposit**

**Lot # \_\_ House # \_\_ Street Name** \_\_\_\_\_

**Property Owner** \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

**Architect** \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

**Builder** \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

**Surveyor** \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

**Landscape Designer** \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

Variance Requested (Describe on Architectural Questionnaire)

# NEW CONSTRUCTION ARCHITECTURAL QUESTIONNAIRE

**Form(s) to be completed, as required, by all architects/designers submitting documents for consideration at Draft, Preliminary and Final stages.**

1. Has the architect visited the site?  Yes  No  
Date of visit (required prior to submittal of major renovation or new construction) \_\_\_\_\_
2. Has the architect read the **current MIARC Architectural Design Guidelines** and related **Protective Covenants** and designed the house accordingly?  Yes  No
3. Has the house been designed according to the State of North Carolina Residential Building Code, especially in regard to wind resistant construction?  Yes  No
4. Is the architect familiar with CAMA, FEMA and Village of Bald Head Island Zoning requirements for this site?  Yes  No
5. If applicable, what are the CAMA and FEMA restrictions for this property?  
\_\_\_\_\_
6. Are there 404 (regulated) wetlands on the property?  Yes  No
7. What is the FEMA Flood Zone for the Property? \_\_\_\_\_
8. Has the architect/designer attempted to minimize the amount of the site to be graded?  Yes  No
9. Has the architect/designer attempted to minimize the removal of, or damage to existing vegetation, especially plants of special concern?  Yes  No
10. Has the architect/designer taken views, orientation and location of adjoining buildings into consideration for the design of the house?  Yes  No
11. Has the house been staked out on the lot (required at Preliminary)?  Yes  No  
Date Staked \_\_\_\_\_ **(Trees to be removed must be tied with red surveyors' tape)**

Type of lot:

- Corner
- Standard
- Other \_\_\_\_\_

Required setbacks:

- Front \_\_\_\_\_
- Side \_\_\_\_\_
- Rear \_\_\_\_\_
- Alley Easement \_\_\_\_\_
- Other \_\_\_\_\_

12. Area of lot (sq. ft.) \_\_\_\_\_

13. Average street level and lowest point where the building perimeter meets grade

Average \_\_\_\_\_ Lowest \_\_\_\_\_

14. Overall height measured from the average street level to the roof peak of the structure. (Note: The village Ordinance measures height from the lowest natural point where the building perimeter meets grade. In cases where the Village Ordinance conflicts with the MIARC Guidelines and Covenants, the strictest applies.) \_\_\_\_\_

15. First floor elevation (FFE) \_\_\_\_\_  
**(Max of 2' above FEMA or 4' above average grade around perimeter of complete structure including stairs and decks, whichever is greater)**
16. Lowest natural point (virgin low) at perimeter of crofter/garage (including stairs, decks, etc.) (MSL) \_\_\_\_\_
17. Height of crofter/garage (highest roof ridge) above virgin low point \_\_\_\_\_
18. Crofter/garage top of ground floor (slab) \_\_\_\_\_
19. Total proposed building coverage \_\_\_\_\_  
 Total proposed impervious coverage \_\_\_\_\_  
 Maximum building coverage allowed for lot \_\_\_\_\_  
 Maximum impervious allowed for lot \_\_\_\_\_
20. Percentage of site to be graded \_\_\_\_\_
21. Number of trees over 3" in caliper at 4' proposed to be removed \_\_\_\_\_
22. Roof pitch: Primary \_\_\_\_\_ Secondary \_\_\_\_\_
23. Eave overhang dimensions \_\_\_\_\_  
 Rake overhang dimensions \_\_\_\_\_
24. Total allowable heated square footage \_\_\_\_\_
25. Total square footage main structure (heated/non-heated) \_\_\_\_\_ / \_\_\_\_\_
26. Total square footage crofter/garage (heated/non-heated) \_\_\_\_\_ / \_\_\_\_\_
27. Heated first floor area (main structure) \_\_\_\_\_
28. Heated second floor area (main structure) \_\_\_\_\_
29. Heated third floor area (main structure) \_\_\_\_\_
30. Total sq. ft. of screened porch \_\_\_\_\_ Screen Material \_\_\_\_\_
31. Total sq. ft. of deck and balconies \_\_\_\_\_
32. Percentage of covered porch (8' deep min.) if in front of dune ridge — must be 15% of the linear footage heated wall space on the first floor \_\_\_\_\_
33. Percentage of covered porch (8' deep min.) in East End neighborhoods must be 20% of the linear footage heated wall space on the first floor \_\_\_\_\_
34. Covered porch per Cape Fear Station requirements Front \_\_\_\_\_ Rear \_\_\_\_\_
35. 50% rule calculation (if on or in front of dune ridge)  
 Area of grade level volume footprint (if usable) \_\_\_\_\_  
 Area of first level volume footprint \_\_\_\_\_  
 Area of second level volume footprint \_\_\_\_\_  
 Second level percentage of first level (50% max.) \_\_\_\_\_
36. Are any variances from Architectural Review Committee requirements being requested under this application?  Yes  No If yes, please attach a letter of explanation for request \_\_\_\_\_
37. Shutter material: Plastic \_\_\_ Vinyl \_\_\_ Wood \_\_\_ Other \_\_\_\_\_ Color \_\_\_\_\_  
 A physical sample must accompany any submittal that includes plastic or vinyl shutters.

38. Roof: Color \_\_\_\_\_ Type \_\_\_\_\_  
For guidance, see roofing color and reflective properties guidelines.
39. Are there any existing fences bordering property lines?  Yes  No  
(See fence guidelines)
40. Is there a concealment proposal on plans for storing a boat on the lot? (**Required** if owner intends to bring a boat to the island)  Yes  No
41. Location of YES/NO trash tag \_\_\_\_\_
42. **For Draft and/or Preliminary:**  
Has the architect/designer submitted one full-size printed copy, one 11" x 17" printed copy and one emailed PDF copy?  Yes  No
- For Final Review:**  
Has the architect/designer submitted two full-size printed copies, one 11" x 17" printed copy and one emailed PDF copy?  
 Yes  No
- Has the architect/designer submitted an original signed and sealed topographical survey (less than two years old) by a registered land surveyor or civil engineer?  
 Yes  No (**Required at Preliminary Review**)
43. The survey and site plan include the required sightline setback calculations for oceanfront properties  Yes  No (**Required at Draft Review**)
44. If this property falls under the restrictions of a neighborhood sub-association, has a letter from that association, granting approval of the plan, been submitted with the application?  
 Yes  No
45. Does any portion of the proposed construction work involve work on property owned in whole or part by any person or entity other than the applicant property owner (*i.e.* an access easement to the ocean for which the walkway or structure is owned jointly with an adjacent owner or otherwise)  Yes  No
46. If the answer to question 46 is "yes", do you understand the written consent to the plans for any such construction work shall be required from that adjacent owner or other appropriate person before the ARC shall consider approval of any such work and it is the obligation of the Property Owner to obtain such written consent from the adjacent owner or other appropriate person and provide it to the ARC.  Yes  No

To the best of my knowledge, the foregoing statements are true.

\_\_\_\_\_  
Architect signature \_\_\_\_\_ Date \_\_\_\_\_

# MAJOR RENOVATION APPLICATION

## ARCHITECTURAL REVIEW APPLICATION

(For new work on existing homes or design changes during construction, see guidelines related to major changes for further clarification)

### MIDDLE ISLAND ARCHITECTURAL REVIEW COMMITTEE (MIARC)

PO Box 3030

Bald Head Island, North Carolina 28461-7000

[Kim@BaldHeadAssociation.com](mailto:Kim@BaldHeadAssociation.com) / 910-457-4676, ext. 29 / 910-457-9021 Fax

Date \_\_\_\_\_ Category (see Fee Schedule) \_\_\_\_\_

Lot # \_\_ House # \_\_ Street Name \_\_\_\_\_

Urban Code Designation \_\_\_\_\_

Property Owner \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

Architect/Designer \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

Contractor/Representative \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

Change Descriptions \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Please attach the required drawings MUST BE TO SCALE refer to the Middle Island Design Guidelines. May include existing elevations, floor plans, site plan and proposed changes.**



## MAJOR RENOVATION QUESTIONNAIRE

**This questionnaire must be completed by the Property Owner or their representative and accompany the Major Renovation application form. If the renovation exceeds 1599 heated square feet or 50% of the existing main structure utilize the New Construction guidelines and application/questionnaire.**

1. Are the proposed changes consistent with the **current MIARC Architectural Design Guidelines** and related **Protective Covenants**?  Yes  No
2. Will the proposed changes impact existing vegetation?  Yes  No

If the answer to this question is yes, list changes in existing vegetation: If applicable, what are the CAMA and FEMA restrictions for this property? \_\_\_\_\_

3. What is the FEMA Flood Zone for the Property? \_\_\_\_\_
4. Existing height of main structure (highest roof ridge) virgin low point (max. 35') \_\_\_\_\_
5. If proposed changes include accessory structures (i.e. crofter) include footprint square footage \_\_\_\_\_, height from virgin low to roof ridge \_\_\_\_\_
6. Area of lot (sq. ft.) \_\_\_\_\_  
Total proposed building coverage \_\_\_\_\_  
Total proposed impervious coverage \_\_\_\_\_  
Maximum building coverage allowed for lot \_\_\_\_\_  
Maximum impervious allowed for lot \_\_\_\_\_
7. Additional percentage of site to be graded \_\_\_\_\_
8. Roof pitch: Primary \_\_\_\_\_ Secondary \_\_\_\_\_
9. Eave overhang dimensions \_\_\_\_\_ Rake overhang dimensions \_\_\_\_\_

10. Type of lot:

- Corner  
 Standard  
 Other \_\_\_\_\_

Required setbacks:

- Front \_\_\_\_\_  
Side \_\_\_\_\_  
Rear \_\_\_\_\_  
Alley Easement \_\_\_\_\_  
Other \_\_\_\_\_

11. Total allowable heated square footage \_\_\_\_\_
12. The proposed changes are in compliance with the designated porch requirements?  
 Yes  No
13. Are any variances from Architectural Review Board requirements being requested in this application?  Yes  No  
If yes, please attach a letter of explanation for request.
14. Has the architect/designer submitted one full-size printed copy, one 11" x 17" printed copy and one emailed PDF copy?  Yes  No
15. Does any portion of the proposed construction work involve work on property owned in whole or part by any person or entity other than the applicant property owner (*i.e.* an access easement to the ocean for which the walkway or structure is owned jointly with an adjacent owner or otherwise)  Yes  No
16. If the answer to question 15. is "yes", do you understand the written consent to the plans for any such construction work shall be required from that adjacent owner or other appropriate person before the consider for approval of any such work and it is the obligation of the Property Owner to obtain such written consent from the adjacent owner or other appropriate person and provide it to MIARC.  Yes  No

To the best of my knowledge, the foregoing statements are true.

\_\_\_\_\_  
Property Owner or Representative signature

\_\_\_\_\_  
Date

# MINOR RENOVATION/CHANGE APPLICATION ARCHITECTURAL REVIEW APPLICATION

(For new work on existing homes or design changes during construction,  
see guidelines related to minor changes for further clarification)

## MIDDLE ISLAND ARCHITECTURAL REVIEW BOARD

(Page 1 of 3)

PO Box 3030

Bald Head Island, North Carolina 28461-7000

[Kim@BaldHeadAssociation.com](mailto:Kim@BaldHeadAssociation.com) / 910-457-4676, ext. 29 / 910-457-9021 Fax

Date \_\_\_\_\_ Category \_\_\_\_\_

Lot # \_\_ House # \_\_ Street Name \_\_\_\_\_

Property Owner \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

Architect/Designer \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

Contractor/Representative \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

Change Descriptions \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Please attach the required drawings MUST BE TO SCALE refer to the Middle Island Design Guidelines. May include existing elevations, floor plans, site plan and proposed changes.**

## MINOR RENOVATION/CHANGE QUESTIONNAIRE

**This questionnaire must be completed by the Property Owner or their representative and accompany the Minor Change application form.**

1. Are the proposed changes consistent with **current MIARC Architectural Design Guidelines** and related **Protective Covenants**?  Yes  No
2. Will the proposed changes impact existing vegetation?  Yes  No  
If the answer to this question is yes, list changes in existing vegetation: \_\_\_\_\_

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3. Type of lot: Required setbacks:  
 Corner Front \_\_\_\_\_  
 Standard Side \_\_\_\_\_  
 Other \_\_\_\_\_ Rear \_\_\_\_\_  
Alley Easement \_\_\_\_\_  
Other \_\_\_\_\_
4. Total area of lot (sq. ft.) \_\_\_\_\_
5. Total proposed building coverage \_\_\_\_\_  
Total proposed impervious coverage \_\_\_\_\_  
Maximum building coverage allowed for lot \_\_\_\_\_  
Maximum impervious allowed for lot \_\_\_\_\_
6. Are any variances from Architectural Review Board requirements being requested under this application?  Yes  No  
If yes, please attach a letter of explanation for request.
7. The submittal includes one full-size scaled printed copy, one 11" x 17" printed copy and one emailed PDF copy?  Yes  No
8. Does any portion of the proposed construction work involve work on property owned in whole or part by any person or entity other than the applicant property owner (*i.e.* an access easement to the ocean for which the walkway or structure is owned jointly with an adjacent owner or otherwise)  Yes  No

9. If the answer to question 8. is “yes”, do you understand the written consent to the plans for any such construction work shall be required from that adjacent owner or other appropriate person before consideration for approval of any such work and it is the obligation of the Property Owner to obtain such written consent from the adjacent owner or other appropriate person and provide it.  Yes  No

To the best of my knowledge, the foregoing statements are true.

\_\_\_\_\_  
Property Owner or Representative signature

\_\_\_\_\_  
Date

# Plant Material Change Application

## ARCHITECTURAL REVIEW APPLICATION

(For vegetation changes on existing homes or changes made during construction)

### MIDDLE ISLAND ARCHITECTURAL REVIEW COMMITTEE

PO Box 3030

Bald Head Island, North Carolina 28461-7000

[Kim@baldheadassociation.com](mailto:Kim@baldheadassociation.com) / 910-457-4676, ext. 29 / 910-457-9021 Fax

Date \_\_\_\_\_

Lot # \_\_ House # \_\_ Street Name \_\_\_\_\_

Property Owner \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

Landscape Designer \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

Descriptions \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**\*Please attach the required landscape plan and plant list.**

\* If you are planning to add or change hardscape (decking, pavers, gravel, lighting, etc.) in addition to softscape (plants, trees, shrubs, etc.) please fill out a Minor Change application. Include both hardscape and softscape specifics. A separate Plant Material application not needed.

**\*For guidance, see Landscape guidelines. It is required that a minimum of 70% of the new plant material be native to BHI. The use of NC native plant material is limited to 20% and up to 10% of the plant material may be non-native. Percentages are calculated by adding up the total number of gallons per plant. Only newly proposed plantings are calculated in these percentages, existing plants are not included.**

# DEMOLITION REVIEW APPLICATION

## ARCHITECTURAL REVIEW APPLICATION

(For demolition of existing homes)

### MIDDLE ISLAND ARCHITECTURAL REVIEW COMMITTEE (MIARC)

PO Box 3030

Bald Head Island, North Carolina 28461-7000

[Kim@BaldHeadAssociation.com](mailto:Kim@BaldHeadAssociation.com) /910-457-4676, ext. 29 / 910-457-9021 Fax

Proposed project completion time frame: \_\_\_\_\_

Lot # \_\_\_\_\_ House # \_\_\_\_\_ Street Name \_\_\_\_\_

Property owner \_\_\_\_\_

Mailing address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

Contractor \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

*As the official on-site designee of the property owner, the contractor accepts responsibility for maintaining the approved site management plan throughout the demolition process. The ARC Coordinator is granted on site permission and will make site inspections periodically throughout the process to ensure compliance with the ARC approved site management plan. The ARC Coordinator may authorize minor adjustments to the approved site management plan; major changes require resubmittal to the ARC for approval.*

*Damages may be assessed, and fines imposed of up to \$100 per day per violation for non-compliance. These fines are authorized by the Amended Covenants of the Middle Island Association and the Planned Community Act Chapter 47F of the NC General Statutes. They become effective five days after the Middle Island Association Board's approval of the recommendations.*

#### ***The completed demolition review application must include the following documentation:***

\_\_\_\_\_ Verify that a new construction project has ARC approval and a Village issued permit for rebuilding the main structure on this site.

\_\_\_\_\_ If a new construction project is not currently ARC approved and/or Village building permit for the approved project has not been issued for this site, a landscape restoration plan is required.

\_\_\_\_\_ A copy of the proposed site plan including debris management plan.

\_\_\_\_\_ Include the planned protection of existing vegetation. The ARC Coordinator will determine if tree/vegetation protection is required before demolition begins.

\_\_\_\_\_ Limits of demolition fencing required. A forest lot requires the use of 36" high black silt fencing, and a non-forest lot requires the use of 48" high wooden sand fencing.

\_\_\_\_\_ Review fee.

# PAINT/COLOR APPLICATION ARCHITECTURAL REVIEW APPLICATION

PLEASE COMPLETE ALL PAGES

NOTE: Must complete application prior to submittal (must include roof sample and paint chips)

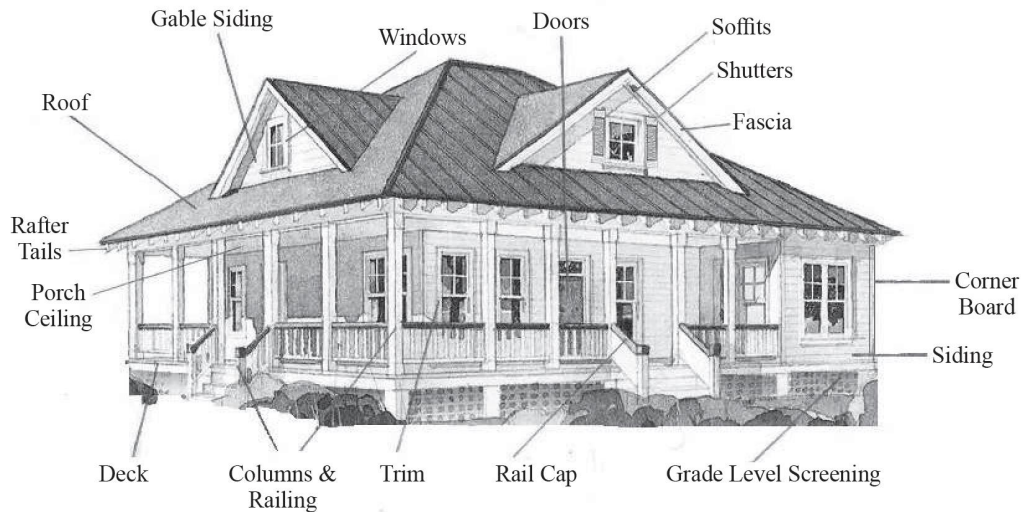
Date: \_\_\_\_\_

Lot # \_\_\_\_\_ House # \_\_\_\_\_ Street Name \_\_\_\_\_

Property Owner \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_



## **MANUFACTURER-PROVIDED ROOFING SAMPLE(S) REQUIRED**

Roof:

Color/Number \_\_\_\_\_

Manufacturer \_\_\_\_\_

Material \_\_\_\_\_

Accent Roof:

Color/Number \_\_\_\_\_

Manufacturer \_\_\_\_\_

Material \_\_\_\_\_

*Note: For guidance, see roofing color and reflective properties guidelines.*



**MUST ATTACH MANUFACTURER-PROVIDED PAINT CHIPS BELOW**

Main body of the Bldg.:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

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Rafters/ Soffits:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

Windows:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

Trim:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

Exterior Doors:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

Grade Level Screening:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

Porch Ceiling:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

Window Shutters

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

HVAC Enclosure:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

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Trash Enclosure:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

Shower Enclosure:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

Deck:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

Columns and Railing:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

Garage Doors:

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

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Other Accents (specify): \_\_\_\_\_

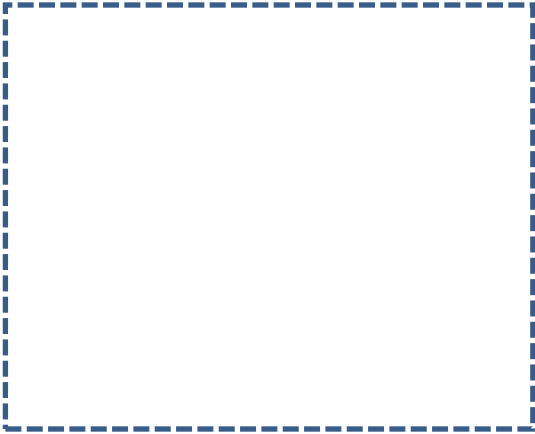
Rafter tails, cap rail, etc.

Color/Number \_\_\_\_\_

Paint Mfg. \_\_\_\_\_

---

**ATTACH SAMPLES BELOW**



**PLEASE SEND TO THE**

**MIDDLE ISLAND ARCHITECTURAL REVIEW BOARD (MIARC)**

PO Box 3030

Bald Head Island, North Carolina 28461-7000

[Kim@BaldHeadAssociation.com](mailto:Kim@BaldHeadAssociation.com) / 910-457-4676, ext. 29 / 910-457-9021 Fax

# ROOF COLOR APPLICATION ARCHITECTURAL REVIEW APPLICATION

PLEASE COMPLETE ALL PAGES

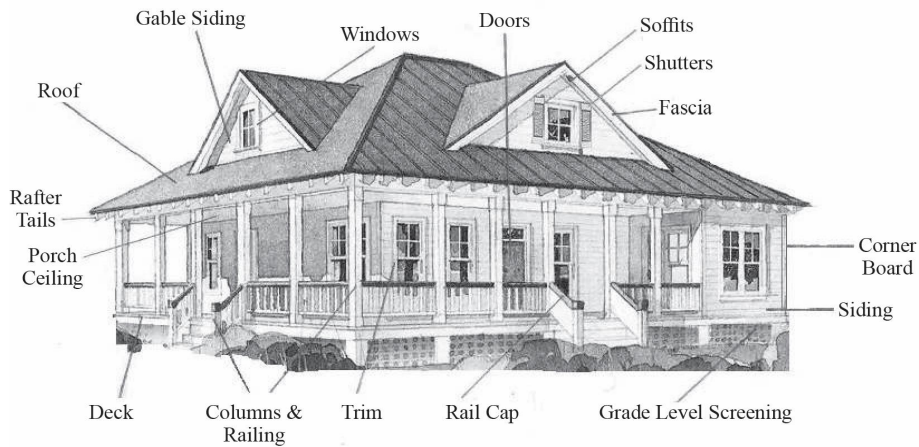
Date: \_\_\_\_\_

Lot # \_\_\_\_\_ House # \_\_\_\_\_ Street Name \_\_\_\_\_

Property Owner \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_



## MANUFACTURER-PROVIDED ROOFING SAMPLE(S) REQUIRED

Roof:

Color/Number \_\_\_\_\_

Manufacturer \_\_\_\_\_

Material \_\_\_\_\_

Accent Roof:

Color/Number \_\_\_\_\_

Manufacturer \_\_\_\_\_

Material \_\_\_\_\_

*Note: For guidance, see roofing color and reflective properties guidelines.*

# FINAL INSPECTION CHECKLIST/REPORT

(FOR INTERNAL USE ONLY)

Owner \_\_\_\_\_ Architect/Designer \_\_\_\_\_

Builder \_\_\_\_\_ Lot # \_\_\_\_\_

Deposit Amount \$ \_\_\_\_\_ Date C.O. Issued \_\_\_\_\_

Date of inspection \_\_\_\_\_ 'AS BUILT' Survey submitted \_\_\_\_\_

Site Placement \_\_\_\_\_ Exterior Lighting \_\_\_\_\_

**Elevations:** Trash Enclosure \_\_\_\_\_

Front \_\_\_\_\_ HVAC Screened \_\_\_\_\_

Back \_\_\_\_\_ Driveway \_\_\_\_\_

Left Side \_\_\_\_\_ Concrete Apron \_\_\_\_\_

Right Side \_\_\_\_\_ Walkways \_\_\_\_\_

Garage/Crofter \_\_\_\_\_ Stairways \_\_\_\_\_

**Fence:** Design \_\_\_\_\_ Location \_\_\_\_\_ Finished sides face out \_\_\_\_\_ Paint/Color \_\_\_\_\_

**Exterior Paint/Color:**

Body \_\_\_\_\_ Address Bollard (front) \_\_\_\_\_

Trim \_\_\_\_\_ Address Bollard (rear alley) \_\_\_\_\_

Doors \_\_\_\_\_ Landscaping \_\_\_\_\_

Accents \_\_\_\_\_

Lattice \_\_\_\_\_

Roof \_\_\_\_\_

\_\_\_\_\_ Damage to alley asphalt, sidewalk or street asphalt

Other (Describe) \_\_\_\_\_

By: \_\_\_\_\_

BHA ARC Coordinator

Date

**Deposit mailed:** Date \_\_\_\_\_ \$ \_\_\_\_\_

# SITE MANAGEMENT COMPLIANCE FORM

## ARC Specialist, 910-457-4676 ext.29

Date building permit issued: \_\_\_\_\_

**Lot #** \_\_\_\_\_ **House #** \_\_\_\_\_ **Street Name** \_\_\_\_\_

**Property owner** \_\_\_\_\_

Mailing address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

**Builder** \_\_\_\_\_

Mailing address \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

*As the official on-site representative of the property owner, the builder accepts responsibility for maintaining this Site Management Plan throughout the building process. The ARC Specialist is granted on site permission and will make site inspections periodically throughout the building process to ensure compliance with this Site Management Plan. **The builder is responsible for contacting the ARC Specialist to schedule required site visits and the completion of the three-step site management form.** The ARC Specialist may authorize minor adjustments to the approved site plan; major changes require resubmittal to the ARC for approval. Compliance with the approved plans will be itemized at final inspection prior to refunding the Construction Deposit. Failing to submit ARC Change Applications for changes as construction progresses will cause delays of the refund.*

***Damages may be assessed, and fines imposed of up to \$100 per day per violation for non-compliance. These fines are authorized by the Amended Covenants of the Middle Island Association and the Planned Community Act Chapter 47F of the NC General Statutes. They become effective five days after the Middle Island Association Board's approval of the recommendations.***

\_\_\_\_\_  
 ARC Specialist    Date                      Builder    Date

**1<sup>ST</sup> SITE VISIT – SCHEDULED WITH ARC SPECIALIST BEFORE LAND IS CLEARED**

- \_\_\_\_\_ A copy of the approved site plan is attached.
- \_\_\_\_\_ The building corners are indicated by survey stakes, the trees are tagged for removal and the tree/vegetation removal is verified.
- \_\_\_\_\_ The approved site plan is reviewed and updated with required adjustments. This form is agreed to be the project Site Management Plan. Discuss protection of remaining trees.
- \_\_\_\_\_ The ARC Specialist will determine if tree/vegetation protection is required before the land is cleared.

**NOTES:**

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ARC Specialist	Date	Builder	Date
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**2<sup>ND</sup> SITE VISIT – SCHEDULED WITH ARC SPECIALIST BEFORE PILINGS ARE INSTALLED**

- \_\_\_\_\_ The land has been cleared approximately 6 feet around the building pad.
- \_\_\_\_\_ The surveyor has set the final house corner stakes in preparation for piling installation.
- \_\_\_\_\_ Protective wood sand fencing has been installed 2 feet from and around the base of the trunk or vegetation to be protected per the site plan.
- \_\_\_\_\_ Review and update the Site Management Plan.

**NOTES:**

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ARC Specialist	Date	Builder	Date
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**Exception:** Tree protection that impedes the piling installation process will be noted on the Site Management Plan. Any delay of specific tree protection must be approved by the ARC Specialist.

**3<sup>RD</sup> SITE VISIT - SCHEDULED WITH ARC SPECIALIST AFTER PILINGS ARE INSTALLED AND BEFORE OTHER MATERIALS ARE DELIVERED**

- \_\_\_\_\_ Limits of construction fencing have been installed.
- \_\_\_\_\_ A forest lot requires the use of 36” high black silt fence for limits of construction fencing.
- \_\_\_\_\_ A non-forest lot requires the use of 48” high wooden sand fence for limits of construction fencing.
- \_\_\_\_\_ The dumpster location has been designated.
- \_\_\_\_\_ The portable restroom location has been designated.
- \_\_\_\_\_ The Site Management Plan is reviewed and updated if necessary.
- \_\_\_\_\_ Although tree protection would be ideal if installed at the drip line of the remaining trees, it is recognized that this may not always be possible. On site, the ARC Specialist will discuss with the builder any additional required tree/vegetation protection on a case-by-case basis when drip line is not possible.
- \_\_\_\_\_ The driveway has been stabilized and \_\_\_\_\_ material has been used.
- \_\_\_\_\_ The materials lay-down area has been determined and marked on the Site Management Plan.

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\_\_\_\_\_  
ARC Specialist

\_\_\_\_\_  
Date

\_\_\_\_\_  
Builder

\_\_\_\_\_  
Date